

O.M.T. Inspections, LLC

Property Inspection Report



123 Sample Report Ave, Wichita, KS 67111
Inspection prepared for: John Doe
Date of Inspection: 9/4/2019 Time: 2:00 PM
Age of Home: 1998 Size: 2937

Inspector: Taylor Moffitt
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O.M.T. INSPECTIONS



An experience, not just an inspection.

Home Inspections / Radon Testing / Termite Inspections

Dear Client,

OMT Inspections appreciates the opportunity to conduct this inspection for you!
Please carefully read your entire Inspection Report.

Properties being inspected do not "Pass" or "Fail." The following report is based on an inspection of the visible portion of the structure; the inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, **not current code**.

This report identifies specific **non-code, non-cosmetic** concerns that the inspector feels may need further investigation or repair.

We do not inspect swimming pools and spas/hot tubs as part of this inspection. It is encouraged that if this property has one, a specialist be contracted to perform a pool/spa inspection. If one is contracted through us it will be provided to you in a separate document by the contractor that performed the inspection.

We also do not inspect for the presence of Wood Destroying Organisms (for example termites). A special license in the state of Kansas is required to inspect for WDO/WDI. It is recommended to have a licensed pest control expert perform a WDO/WDI (termite) inspection prior to close. If one is contracted through us it will be provided to you in a separate document by the contractor that performed the inspection.

For your safety and liability purposes, we recommend licensed and qualified contractors, and trades persons evaluate and repair any concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

We would like to remind you that when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process. We want to say thank you for allowing O.M.T. Inspections to assist you in the purchase of your new home.

Sincerely,
O.M.T. Inspections, LLC

Inspection Details

1. Time

Time: Inspection started at 2:00 pm. • Inspection ended at 5:00 pm.

2. Weather Conditions

- Sunny

3. Temperature

Observations:

- The temperature was above 65 degrees F at the time of the inspection.

4. Did it rain in the last 3 days?

Rain: Yes

5. Attendance

In Attendance: Client present for the duration of the inspection. • Buyers agent present for the duration of the inspection.

6. Home Type

Home Type: Single Family Home • Detached

7. Occupancy

Occupancy: Vacant

8. Utilities

- All utilities were on at the time of the inspection.

9. Termite Inspection

- None Ordered

10. Radon Test

Observations:

- Ordered - Performed by O.M.T. Inspections, LLC - Additional document

11. Sewer Scope

- None Ordered

Exterior areas

Limitations: The inspector performs a visual inspection of accessible components or systems at the exterior/grounds. Items excluded from this inspection include below-grade foundation walls and footings; foundation exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim, and fences. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed from the ground or from a ladder. This may limit a full evaluation. The inspector does not determine the adequacy of any retaining wall. Any comment made in regards to any of these items is of a courtesy only. The inspector will also provide a limited evaluation of the sprinkler system if one is installed and dewatered. The limited evaluation does not cover anything that would be below ground. The limited evaluation will just indicate if all sprinkler heads function and if even coverage over the lawn was noted.

1. General Exterior Condition

Observations:

- Built-in gas grills are not operated as part of this home inspection. This is excluded from this inspection.

2. Siding Condition

Materials: Composition cement siding ("Hardi-Board" etc.) noted. • Brick noted.

Observations:

- Minor caulking and painting around the house was needed as part of routine maintenance. It is recommended to have a qualified contractor address.
- Minor cracking noted in the brick above the garage doors at the time of the inspection. It is recommended to have a qualified contractor repair as needed.
- **Some deteriorated fascia and soffit noted around the house at the time of the inspection. It is recommended to have a qualified contractor evaluate and repair as needed prior to close.**



Example of fascia deterioration.



Example of deteriorated fascia.



Example of deteriorated fascia.



Example of minor cracking in the brick above the garage.

3. Driveway and Walkway Condition

Materials: Concrete driveway noted.

Observations:

- Multiple uneven slabs were noted on the driveway and walkway at the time of the inspection. These slabs were displaced enough to be causing a tripping hazard. It is recommended to have a qualified contractor repair/replace as needed for safety.



Example of tripping hazard.

4. Grading

Observations:

- No major system safety or function concerns noted at time of inspection.

5. Vegetation Observations

Observations:

- No major system safety or functional concerns noted at time of inspection.

6. Deck Condition

Observations:

- No joist hangers were noted on the deck. This is a non typical install. It is recommended to have a qualified contractor review the deck construction for the need of joist hangers and install if deemed needed.
- Some of the post to bracket connections on the stair structure were attached with screws at the time of the inspection. These are not approved structural fasteners. It is recommended to have a qualified contractor replace with an approved fastener.



Deck screws are not approved structural fasteners.

7. Stairs & Handrail

Observations:

- Safety upgrade: The steps to the deck had open risers greater than 4 inches. The **AHJ** allows this practice in the area. However this can be a safety hazard and it is recommended that all steps should be closed in.
- An uneven rise was noted on the deck stairs at the time of the inspection. This is a tripping hazard. It is recommended to have a qualified contractor repair/replace as needed for safety.
- The east lower railings on the deck stairs were slightly weak and unstable at the time of the inspection. It is recommended to have a qualified contractor repair/replace as needed for safety.



Uneven rise, open risers, and a weak railing.

8. Patio/Porch Condition

Observations:

- Appeared in satisfactory and functional condition with normal wear for its age.

9. Sprinklers

Observations:

- The inspector preformed a limited evaluation of the sprinkler system. This included turning the sprinkler system on to see if all sprinkler heads functioned and that the water was in the inspectors opinion evenly distributed around the yard. This did not include checking for leaks and any component that was not readily visible or under ground.
- The sprinkler system operates with a control panel located in the garage.
- Heads on zone 1 and zone 2 appeared to need adjustment to broaden their coverage area. It is recommended to have a qualified sprinkler contractor address.
- Sprinkler head on zone 3 near the sidewalk leaked at the time of the inspection. It is recommended to have a qualified sprinkler contractor repair, or replace as deemed necessary prior to close.
- The zone to the south of the driveway did not engage when tested at the time of the inspection. It is recommended to have a qualified sprinkler contractor fully evaluate and repair, or replace as deemed necessary prior to close.



Area on zone 1 without adequate coverage.



Area on zone 2 without proper coverage.



Sprinkler head on zone 3 leaking.

Foundation

Limitations: The foundation inspection is limited to readily visible portions of the foundation. All areas that are obscured by personal belongings, insulation, wall coverings (such as drywall), and earth are hereby disclaimed and are not included in this home inspection. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. All foundation repairs and deficiencies should be further evaluated by a qualified structural engineer.

1. Foundation Condition

Materials: Poured concrete foundation noted.

Observations:

- No deficiencies noted at the time of inspection.

Roof

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components, and power roof vent operation. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain, melting snow) would be needed to do so. Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions performed adequately or were leak-free. Further the inspection does not guarantee or warranty that the buyer will be able to obtain insurance on the roof. Every insurance company has different requirements for the insurability of the roof and the buyer should verify that this roof will be able to be insured with the buyers preferred insurance company prior to the end of their inspection contingency period.

1. Roof Condition

The roof was fully traversed.

Materials: Asphalt architectural shingles noted.

Observations:

- Some minor granule loss and slight impact damage noted on the roof surface at the time of the inspection. It is recommended to verify the insurability of this roof with the buyers insurance company prior to close.



2. Flashing

Observations:

- No deficiencies noted at the time of inspection.

3. Gutter

Observations:

- The downspout on the southwest corner of the house was crushed at the time of the inspection. It is recommended to have a qualified contractor repair or replace as needed.



Example of a crushed downspout on the southwest corner of the house.

4. Condition of Vents

Materials: Louver vent(s) noted • Soffit vent(s) noted.

Observations:

- No deficiencies noted at the time of inspection.

Attic

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access (walking platforms or head clearance); areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

1. General Attic Concerns

Observations:

- Attic was partially traversed due to limited walking platforms.
- A significant amount of personal belongings noted in the attic at the time of the inspection. It is recommended to have the sellers remove all personal belongings prior to close.



Personal belongings throughout the attic.

2. Access

Observations:

- Pull Down Ladder located in: Garage Ceiling
- The garage attic ladder did not reach the floor at the time of the inspection. It was also not rated for a firewall installation. It is recommended to have a qualified garage door contractor replace with an approved fire rated and properly size ladder.



3. Structure

Observations:

- No deficiencies noted at the time of inspection.



4. Insulation Condition

Materials: Blown in fiberglass insulation noted.

Depth: Insulation averages about 10-12 inches in depth which has an approximate R-value of 30.

Observations:

- No deficiencies noted at the time of inspection.

5. Exhaust Vent

Observations:

- Improvement upgrade: Exhaust fan duct appears to terminate in attic. This is a condition conducive to microbial growth. It is recommended to have all exhaust ducts routed to the exterior of the house.

Garage

Limitations: The inspector does not determine the adequacy of firewall ratings. Requirements for ventilation in garages vary between municipalities. The inspector does not move personal belongings to see areas of the walls and flooring. All areas obscured by personal belongings are excluded from this home inspection. The inspector does not test/inspect specialty equipment such as car lifts, jacks, welding equipment, ect. All specialty equipment is excluded from this home inspection.

1. Walls

Observations:

- The garage firewall was damaged/compromised at the time of the inspection. Due to this fire potential to the home is at a greater risk. It is recommended to have a qualified contractor repair the fire rated wall per standard building practices.



The storage in the garage compromises the firewall integrity.

2. Garage floor condition

Materials: Bare concrete floors noted.

Observations:

- The garage floor has typical wear for its age and no deficiencies noted at the time of inspection.

3. Person Doors

Observations:

- The main house door did not fully seal at the time of the inspection. This is a gateway for pest intrusion as well as energy loss. It is recommended to have a qualified contractor readjust/repair as needed.

4. Garage Door Condition

Materials: One 16 foot steel garage door noted. • One 7 foot steel garage door noted.

Observations:

- The bottom weatherstripping of the garage door was deteriorated/missing at the time of inspection. It is recommended to replace to prevent water and pest intrusion into the garage.

5. Garage Opener Status

Observations:

- No deficiencies noted at the time of inspection.
- Chain drive opener noted.

6. Garage Door's Reverse Status

Observations:

- The Garage door mechanical reverse and the eye beam system functioned properly at the time of inspection.

Plumbing/Fuel

Limitations: The following items are not included in this inspection: private/shared wells and related equipment; private sewage disposal systems (septic); hot tubs, pools or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices. Any comments made regarding these items are as a courtesy only. Note that the inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated. The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks.

1. Main line condition

The main water shut off was located behind an access panel located in the: basement bedroom closet

Service Type: Public

Observations:

- No deficiencies noted at the time of inspection.



Main water shut off.

2. Supply line condition

Materials: Copper

Observations:

- A supply line fitting above the water heater had evidence of a previous leak. Calcium build up was noted around the fitting and that is evidence of a slow leak. The fitting did not appear to be actively leaking at the time of inspection, however these leaks commonly start to leak at a later date. It is recommended to have a qualified plumbing contractor repair as needed.



Corrosion buildup above the water heater.

3. Sillcock condition

Location: South • West • Garage

Observations:

- The sillcock on the west and south was leaking out of the vacuum cap during operation at the time of inspection. It is recommended to have a qualified plumbing contractor evaluate and repair as needed.
- The garage sillcocks leaked during operation at the time of the inspection. It is recommended to have a qualified contractor repair.
- The sillcock on the well was leaking at the time of the inspection. It is recommended to have a qualified contractor repair.



Garage sillcock leaking.



Well sillcock leaking.

4. Waste line condition

Materials: Plastic (**ABS** or **PVC**)

Observations:

- No deficiencies noted at the time of inspection.

5. Sump pump condition

Observations:

- The sump pump was operated at the time of inspection and no deficiencies were noted.



6. Venting condition

Materials: Plastic (ABS or PVC)

Observations:

- No deficiencies noted at the time of inspection.

7. Fuel system condition

Type of Fuel: Natural Gas

Location: At the gas meter

Observations:

- No deficiencies noted at the time of inspection.



Main fuel shut off.

Water Heater

Limitations: Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

1. Water Heater Condition

Heater Type: Gas

Location: The water heater is located in the basement utility room.

Observations:

- The water heater was leaking out of the **TPR valve** at the time of the inspection. It is recommended to have a qualified plumbing contractor fully evaluate and repair or replace as deemed needed prior to close.



Water heater leaking out of the TPR valve.

2. Date of Manufacture

Date of water heater manufacture is: 2012

3. Number Of Gallons

Size of water heater:

- 50 gallons

4. Combustion

Observations:

- The combustion chamber appeared to be in functional condition.

Heat/AC

Limitations: The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at anytime and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

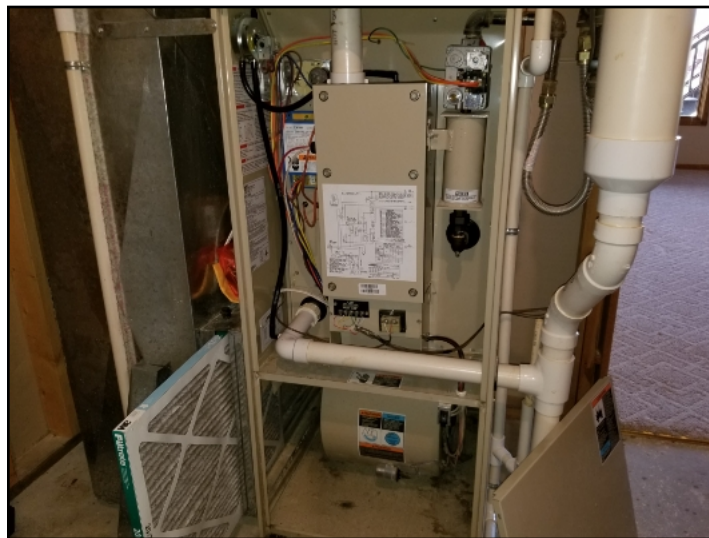
1. Furnace Condition

Furnace location: Location: Basement utility room

Type: Gas fired forced hot air.

Observations:

- The furnace was operated using normal controls. The furnace turned on and produced heat at the time of the inspection and no deficiencies were noted. The furnace was only able to have a limited evaluation due to it being a completely sealed unit. However the inspector was informed that routine servicing within the last couple weeks was completed with no deficiencies noted. It is recommended to defer to that paperwork for the condition and any recommendations.
- Due to the age of the unit and the average life expectancies of HVAC equipment, it is believed that this unit is at or near the end of its useful life. It is recommended to budget for replacement in the near future.



2. Date of manufacture of the furnace

- Date of the furnace manufacture is: 1997

3. A/C Condition

A/C Type: Electric split system

Location: Split system with one component located outdoors on the south side of the house, and the other component located in the Basement utility room.

Observations:

- The typical temperature differential split between supply and return air in an air conditioner of this type is 14 - 20 degrees F. This system responded but did not achieve an acceptable differential temperature. However the inspector was informed that this AC was just recently professionally serviced within the last couple weeks and no deficiencies were noted within the service report. It is recommended to defer to that service report for any recommendations and the condition of the unit.
- The exterior condensor was dirty and in need of cleaning as part of routine maintenance. It is recommended to have a qualified contractor address.
- The insulation on the air conditioning condensing unit's refrigerant lines was deteriorated or missing in some areas at the time of the inspection. This may result in reduced efficiency and increased energy costs. It is recommended to have a qualified HVAC contractor replace or install insulation as necessary.
- The exterior unit was not level at the time of the inspection. This can affect system performance. It is recommended to have a qualified contractor relevel the unit as needed.
- The fins on the exterior unit were dented and damaged at the time of the inspection. It is recommended to have a qualified HVAC contractor evaluate and repair as needed.
- Due to the age of the unit and the average life expectancies of HVAC equipment, it is believed that this unit is at or near the end of its useful life. It is recommended to budget for replacement in the near future.



4. Date of manufacture of the A/C

- Date of **A/C** manufacture is: 1998 for the exterior unit, 1997 for the interior unit.

5. Air Supply/ductwork

Observations:

- The air supply system appears to be functional at the time of inspection.

6. Filters

Filter location: In a slot next to the furnace.

Observations:

- **MAINTENANCE TIP:** The air filter(s) should be inspected at least monthly and cleaned or replaced as required. There are two types of filters commonly used: (1) Washable filters, (constructed of aluminum mesh, foam, or reinforced fibers) these may be cleaned by soaking in mild detergent and rinsing with water. Or (2) Fiberglass disposable filters that must be **REPLACED** before they become clogged. Remember that dirty filters are the most common cause of inadequate heating or cooling performance.
- The furnace filter was dirty at the time of the inspection. Filters clean the air before it passes through the blower and heat exchanger. This helps to keep these furnace components working efficiently. It is recommended to change the filter and then regular inspection & maintenance is advised.



Dirty filter

7. Thermostats

Observations:

- Functional at the time of inspection.
- Location: Upstairs hallway

Electrical

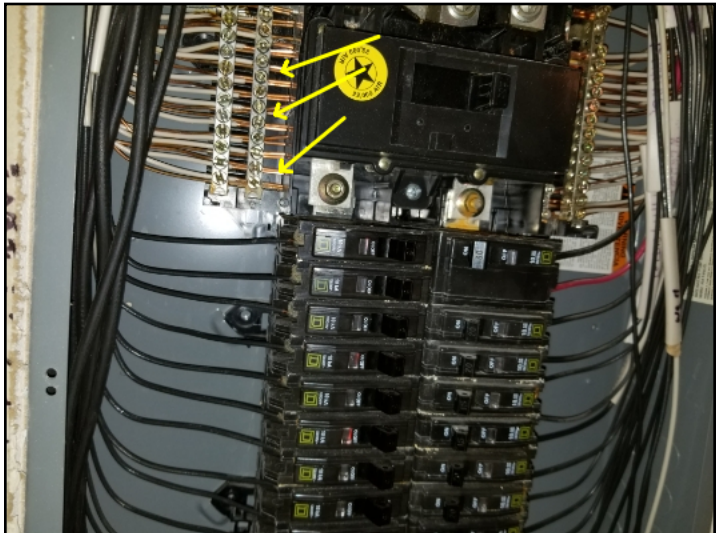
Limitations: The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; any low-voltage system such as lighting and cable, or lighting on timers or sensors, intercom and security systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per InterNACHI's standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall capacity may be diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed and qualified electrical contractor.

1. Electrical Panel

Location: Main panel located in the basement bedroom.

Observations:

- **Double tapped** neutrals noted in the main panel box at the time of inspection. It is recommended to have a qualified electrical contractor repair per standard building practices.



Example of double tapped neutrals.

2. Service Size

Service Size: 200 amp

3. Cable Feeds

Observations:

- There is an underground service lateral noted.

4. Grounding/Bonding

Type of Ground/Bond: Ground rod noted. • Water pipe bond noted.

Observations:

- No deficiencies noted at the time of inspection.

5. Wiring condition

Wiring Type: Copper non-metallic sheathed cable noted.

Observations:

- No deficiencies noted at the time of inspection.

6. Ceiling Fans

Observations:

- The ceiling fan(s) in the master bedroom wobbled when operated. This is an indication that the fan blades are out of balance. It is recommended to rebalance the blades as needed.

7. Receptacles & Switches

Observations:

- The master bathroom outlet was loose in the wall of the time of the inspection. It is recommended to have a qualified electrical contractor re-secure this item prior to close.
- The garage, and exterior **GFCI** outlets would trip during the operation of the sprinkler system and would not reset while the inspector was onsite. It is recommended to have a qualified electrical contractor fully evaluate and repair or replace any issues found prior to close.

8. General

Observations:

- It is recommended to install globes on all light fixtures that do not currently have one.

Bathroom

Limitations: The following items are not included in this inspection: overflow drains for tubs and sinks; heated towel racks, saunas, steam generators. Any comments made regarding these items are as a courtesy only. The inspector does not operate water supply or shut-off valves for sinks, toilets, or bidets due to the possibility of valves leaking or breaking when operated. The inspector does not determine if shower pans or tub and shower enclosures are water tight.

1. Cabinets

Observations:

- No deficiencies noted at the time of inspection.

2. Counters

Observations:

- No deficiencies noted at the time of inspection.

3. Exhaust Fan

Observations:

- The bath fan in the master bathroom was a worn unit which may be at the end of its useful life. Budgeting for replacement in the near future is recommended.

4. Showers/Tubs

Observations:

- Caulking was needed as part of routine maintenance around the tub/shower in the master bathroom at the time of the inspection. It is recommended to have a qualified contractor address.
- The shower head(s) was leaking at the time of inspection in the master bathroom. It is recommended to repair as needed.
- The plumbing was loose in the wall in the master bathroom, upstairs hallway bathroom, and basement bathroom this can cause leaks and is recommended to have a qualified plumbing contractor repair as needed.

5. Sinks

Observations:

- No deficiencies noted at the time of inspection.

6. Toilets

Observations:

- Toilet in the half bathroom was loose at the time of inspection. This can cause the base to leak, and is recommended to reinstall the wax ring and re-anchor the toilet.

7. Floors

Observations:

- The linoleum flooring in the basement bathroom appeared to have lost it's adhesion at the time of the inspection. It is recommended to have a qualified contractor to repair, or replace as needed.



Linoleum floor in basement bathroom losing it's adhesion.

Kitchen/Wet Bar

Limitations: The following items are not included in this inspection: household appliances such as warming ovens, broilers, ice makers, hot water dispensers, water filters, appliance timers, clocks, cook functions, self and/or continuous cleaning operations, thermostat or temperature control accuracy, and lights. Water/ice dispensers in the door of the refrigerator or freezer are also not tested and excluded from this home inspection. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of the remaining life of appliances, and does not determine the adequacy of operation of appliances, for example it is not tested if the dishwasher adequately cleans dishes or the oven adequately bakes items. The inspector does not note appliance manufacturers, models or serial numbers and does not determine if appliances are subject to recalls. Areas and components behind and obscured by appliances are inaccessible and excluded from this inspection.

1. Cabinets

Observations:

- No deficiencies noted at the time of inspection.

2. Counters

Observations:

- No deficiencies noted at the time of inspection.

3. Dishwasher

Observations:

- The dishwasher was ran through a light wash cycle and appeared functional at the time of inspection.
- The soap dispenser on the dishwasher did not function at the time of the inspection. It is recommended to have a qualified contractor repair/replace as needed.

4. Garbage Disposal

Observations:

- Operated and appeared functional at time of inspection.

5. Microwave

Observations:

- Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.

6. Oven & Cooktop

Observations:

- All heating elements operated when tested.

7. Refrigerator Condition

Observations:

- No deficiencies noted at the time of inspection.

8. Sinks

Observations:

- The kitchen sink faucet leaked at the base at the time of the inspection. It is recommended to repair as needed.



Kitchen faucet leaking at the base.

9. Vent Condition

Materials: Recirculating

Observations:

- No deficiencies noted at the time of inspection.

10. Floors

Observations:

- No deficiencies noted at the time of inspection.

Laundry

Limitations: The following items are not included in this inspection: clothes washers, clothes dryers. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. The inspector also does not determine if the dryer exhaust is free from debris and not clogged. The inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated. The inspector does not determine the completeness or operability of any gas piping to laundry appliances.

1. Cabinets

Observations:

- No deficiencies noted at the time of inspection.

2. Counters

Observations:

- No deficiencies noted at the time of inspection.

3. Dryer Vent

Observations:

- No deficiencies noted at the time of inspection.

4. Laundry Plumbing

Observations:

- The washer and dryer were present and not inspected as part of this home inspection. The laundry plumbing was not able to be inspected because of their presence either.



5. Floors

Observations:

- No deficiencies noted at the time of inspection.

Interior Areas

Limitations: The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Determining the cause and/or source of odors is not within the scope of this inspection.

1. General

Observations:

- The inspector noted mouse droppings and mouse traps throughout the property at the time of the inspection. It is recommended to have a qualified pest control contractor fully evaluate to eradicate any pests as they deem needed prior to close.

2. Door Bell

Observations:

- Operated normally when tested.

3. Doors

Observations:

- The laundry room door did not latch at the time of inspection. It is recommended to readjust/repair to allow for proper operation.
- The west basement bedroom closet door binds in the jamb at the time of the inspection. It is recommended to readjust/repair as needed to allow for proper operation.
- The storm window for the screen on the front exterior door appeared to be broken/damaged at the time of the inspection. It is recommended to have a qualified contractor repair, or replace as needed.

4. Smoke/CO Detectors

Observations:

- Testing of smoke detectors is not included in this inspection. Pushing the "Test" button only verifies that there is power at the detector (either a battery or hard wired to the house power) and not the operational workings of the detector. The operational check is done by filling the sensor with smoke and is beyond the scope of this inspection. Battery operated smoke alarms should be checked routinely and the batteries changed frequently. It is also recommended to install at a minimum 1 smoke/carbon monoxide detector per floor and outside of all sleeping rooms were none are currently installed.

5. Stairs & Handrail

Observations:

- No deficiencies noted at the time of inspection.

6. Ceiling/Walls Condition

Materials: There are drywall ceilings and walls noted.

Observations:

- Small stains noted on the ceiling in the living room, kitchen, master bedroom, basement family room, basement storm shelter, and basement west bedroom at the time of inspection. All staining tested dry at the time of inspection and it is recommended to monitor the location for future leaking and repair if needed.



Ceiling stains in the kitchen and living room.



Ceiling stain in the master bedroom.



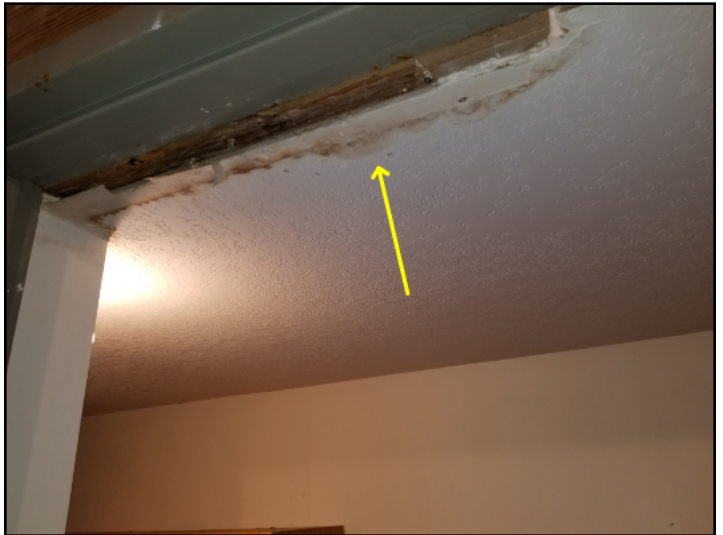
Ceiling stain in the basement west bedroom.



Ceiling stain in the basement family room.



Staining in the basement storm shelter.



Staining in the basement storm shelter.

7. Fireplace

Location: Living Room

Materials: Prefabricated "zero clearance" fireplace noted.

Observations:

- No deficiencies noted at the time of inspection.



Living room



Family Room

8. Window Condition

Materials:

- Vinyl framed casement window noted.
- Vinyl framed fixed window noted.
- Wood framed sliding window noted.

Observations:

- Screens were missing from the garage windows at the time of inspection. It is recommended to verify location of the screens with the seller and if the screens cannot be found it is recommended to replace as needed.
- The crank mechanism cover on the south window in the master bedroom, and the south window in the upstairs living room was broken at the time of the inspection. It is recommended to repair, or replace prior to close.
- The South window in the garage was noted as having deteriorated weather stripping at the time of the inspection. It is recommended to have a qualified contractor repair or replace as needed.
- The south window in the upstairs living room showed signs of loss of seal/condensation. It is recommended to have a qualified contractor evaluate the window(s) for repair/replacement to provide energy savings and prevent hazed glass from limiting the view out of the window(s).
- The north and south window in the garage did not open at the time of inspection. It is recommended to repair/replace to allow for proper operation.



Example of a broken crank mechanism housing and the master bedroom.

Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
AHJ	AHJ or the Authority Having Jurisdiction is the city, county, or state building department that regulates the building and code enforcement for the area.
Double Tapped	<p>A double tap occurs when two or more conductors are connected under one screw inside an electrical panel. Both neutrals and breakers can be effected by this. Most circuit breakers do not support double tapping, although some manufacturers, such as like Square D, make hardware specially designed for this purpose.</p> <p>Double tapping is a defect when it is used on incompatible devices. If the conductors come loose, they cause overheating and electrical arcing, and the risk of fire is also present.</p>
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
HVAC	An abbreviation for Heating, Ventilation, and Air Conditioning.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.
TPR Valve	<p>The thermostat in a water heater shuts off the heating source when the set temperature is reached. If the thermostat fails, the water heater could have a continuous rise in temperature and pressure (from expansion of the water). The temperature and pressure could continue to rise until the pressure exceeds the pressure capacity of the tank (300 psi). If this should happen, the super-heated water would boil and expand with explosive force, and the tank would burst. The super-heated water turns to steam and turns the water heater into an unguided missile. To prevent these catastrophic failures, water heaters are required to be protected for both excess temperature and pressure. Usually, the means of protection is a combination temperature- and pressure-relief valve (variously abbreviated as T&P, TPV, TPR, etc.). Most of these devices are set to operate at a water temperature above 200° F and/or a pressure above 150 psi. Do not attempt to test the TPR valve yourself! Most water heating systems should be serviced once a year as a part of an annual preventive maintenance inspection by a professional heating and cooling contractor. From Plumbing: Water Heater TPR Valves</p>

Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct, or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, **and reflects the opinion of the inspector**. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed, bonded, and qualified tradesman or otherwise qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Exterior areas		
Page 3 Item: 2	Siding Condition	<ul style="list-style-type: none"> Some deteriorated fascia and soffit noted around the house at the time of the inspection. It is recommended to have a qualified contractor evaluate and repair as needed prior to close.
Page 5 Item: 7	Stairs & Handrail	<ul style="list-style-type: none"> The east lower railings on the deck stairs were slightly weak and unstable at the time of the inspection. It is recommended to have a qualified contractor repair/replace as needed for safety.
Page 6 Item: 9	Sprinklers	<ul style="list-style-type: none"> Sprinkler head on zone 3 near the sidewalk leaked at the time of the inspection. It is recommended to have a qualified sprinkler contractor repair, or replace as deemed necessary prior to close. The zone to the south of the driveway did not engage when tested at the time of the inspection. It is recommended to have a qualified sprinkler contractor fully evaluate and repair, or replace as deemed necessary prior to close.
Roof		
Page 8 Item: 1	Roof Condition	<ul style="list-style-type: none"> Some minor granule loss and slight impact damage noted on the roof surface at the time of the inspection. It is recommended to verify the insurability of this roof with the buyers insurance company prior to close.
Attic		
Page 10 Item: 1	General Attic Concerns	<ul style="list-style-type: none"> A significant amount of personal belongings noted in the attic at the time of the inspection. It is recommended to have the sellers remove all personal belongings prior to close.
Page 10 Item: 2	Access	<ul style="list-style-type: none"> The garage attic ladder did not reach the floor at the time of the inspection. It was also not rated for a firewall installation. It is recommended to have a qualified garage door contractor replace with an approved fire rated and properly size ladder.
Garage		
Page 12 Item: 1	Walls	<ul style="list-style-type: none"> The garage firewall was damaged/compromised at the time of the inspection. Due to this fire potential to the home is at a greater risk. It is recommended to have a qualified contractor repair the fire rated wall per standard building practices.
Plumbing/Fuel		
Page 15 Item: 3	Sillcock condition	<ul style="list-style-type: none"> The garage sillcocks leaked during operation at the time of the inspection. It is recommended to have a qualified contractor repair. The sillcock on the well was leaking at the time of the inspection. It is recommended to have a qualified contractor repair.

Water Heater

Page 17 Item: 1	Water Heater Condition	<ul style="list-style-type: none">• The water heater was leaking out of the TPR valve at the time of the inspection. It is recommended to have a qualified plumbing contractor fully evaluate and repair or replace as deemed needed prior to close.
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Electrical

Page 22 Item: 7	Receptacles & Switches	<ul style="list-style-type: none">• The garage, and exterior GFCI outlets would trip during the operation of the sprinkler system and would not reset while the inspector was onsite. It is recommended to have a qualified electrical contractor fully evaluate and repair or replace any issues found prior to close.
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Bathroom

Page 23 Item: 6	Toilets	<ul style="list-style-type: none">• Toilet in the half bathroom was loose at the time of inspection. This can cause the base to leak, and is recommended to reinstall the wax ring and re-anchor the toilet.
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Interior Areas

Page 31 Item: 8	Window Condition	<ul style="list-style-type: none">• The south window in the upstairs living room showed signs of loss of seal/condensation. It is recommended to have a qualified contractor evaluate the window(s) for repair/replacement to provide energy savings and prevent hazed glass from limiting the view out of the window(s).• The north and south window in the garage did not open at the time of inspection. It is recommended to repair/replace to allow for proper operation.
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