

O.M.T. Inspections, LLC

Property Inspection Report



123 Fake st, Wichita, Kansas 67205
Inspection prepared for: Doe John
Date of Inspection: 6/12/2014 Time: 11:00 am
Age of Home: 2000 Size: 2600
Weather: rainy

Inspector: Taylor Moffitt
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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Grounds		
Page 5 Item: 4	Patio and Porch Deck	<ul style="list-style-type: none"> • Joist deck hangers are missing nails. Have all missing nails/screws added as needed.
Page 6 Item: 5	Stairs & Handrail	<ul style="list-style-type: none"> • The stairs railing is placed to far up. The railing should be lowered to only allow a 6 inch gap between it and the stairs. • The stairs have open risers. This is a safety hazard and should be corrected. Open risers are only permissible on stairs that rise no more than 4 inches. It is recommended to close the risers in per standard building practices. • The railing around the deck as well as the stairs railing have started to separate from the posts. It is recommended to reattach the railing to prevent them from giving way when a load is applied to them.
Attic		
Page 14 Item: 5	Exhaust Vent	<ul style="list-style-type: none"> • Exhaust fan ducts for the bathrooms appeared to terminate in attic. This is a condition that is conducive to microbial growth. It is recommended to have all exhaust ducts that terminate into the attic space rerouted to the exterior per standard building practices.
Electrical		
Page 26 Item: 1	Electrical Panel	<ul style="list-style-type: none"> • Neutral wires were doubled under the same lug. All neural wires should be under their own lug. It is recommended to have a qualified electrical contractor repair per standard building practices.

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I appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Remember, when the inspection is completed and the report is delivered, I am still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, I recommend that licensed and qualified contractors and trades persons evaluate and repair any concerns and defects. **Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

Again I want to say thank you for allow O.M.T. Inspections to assist you in the purchase of your new home and if you have any questions don't hesitate to contact me.

Sincerely,
Taylor Moffitt
Owner and Inspector
O.M.T. Inspections, LLC



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Inspection Details

1. Time

Materials: Inspections started at 11:00 am • Inspection ended at 1:30 pm

2. Attendance

In Attendance: Client present at the beginning of the inspection. • Client present at the end of inspection.

3. Home Type

Home Type: Single Family Home • Detached

4. Occupancy

Occupancy: Occupied - **Furnished:** Heavy volume of personal and household items observed.

5. Did it rain in the last 3 days?

Materials: Yes



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Grounds

Limitations: The inspector performs a visual inspection of accessible components or systems at the exterior/grounds. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. **The inspector will also provide a limited evaluation of the sprinkler system if one is installed. The limited evaluation does not cover anything that would be below ground. The limited evaluation will just indicate if all sprinkler heads function and if even coverage over the lawn was noted.** Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

1. Driveway and Walkway Condition

Good	Fair	Poor	N/A	None
X				

Materials: Concrete driveway noted.

Observations:

- Driveway in good shape for age and wear. No deficiencies noted.



2. Grading

Good	Fair	Poor	N/A	None
X				

Observations:

- No major system safety or function concerns noted at time of inspection.



3. Vegetation Observations

Good	Fair	Poor	N/A	None
X				

Observations:

- No major system safety or functional concerns noted at time of inspection.

4. Patio and Porch Deck

Good	Fair	Poor	N/A	None
	X			

Observations:

- Deck ledger board lacking flashing. Flashing protects the ledger and keeps water away from the side of the house. Repair as needed.
- Wood to Soil Contact at deck supports. Deterioration may occur and insects may gain access to wood.
- **Joist deck hangers are missing nails. Have all missing nails/screws added as needed.**



Missing flashing.



Missing nails in the joist hangers.

Wood in contact with the earth deteriorates faster.

5. Stairs & Handrail

Good	Fair	Poor	N/A	None
	X			

Observations:

- The stairs railing is placed to far up. The railing should be lowered to only allow a 6 inch gap between it and the stairs.
- The stairs have open risers. This is a safety hazard and should be corrected. Open risers are only permissible on stairs that rise no more than 4 inches. It is recommended to close the risers in per standard building practices.
- The railing around the deck as well as the stairs railing have started to separate from the posts. It is recommended to reattach the railing to prevent them from giving way when a load is applied to them.



6. Patio Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:

- The patio appeared functional at the time of inspection.



7. Sprinklers

Good	Fair	Poor	N/A	None
X				

Observations:

- The sprinkler system operates with a control panel located in the garage.
- The sprinkler system was operational at the time of inspection.



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Exterior Areas

1. Siding Condition

Good	Fair	Poor	N/A	None
X				

Materials: Composition wood lap siding noted. • Brick veneer noted.

Observations:

- No major system safety or function concerns noted at time of inspection.



2. Eaves & Facia

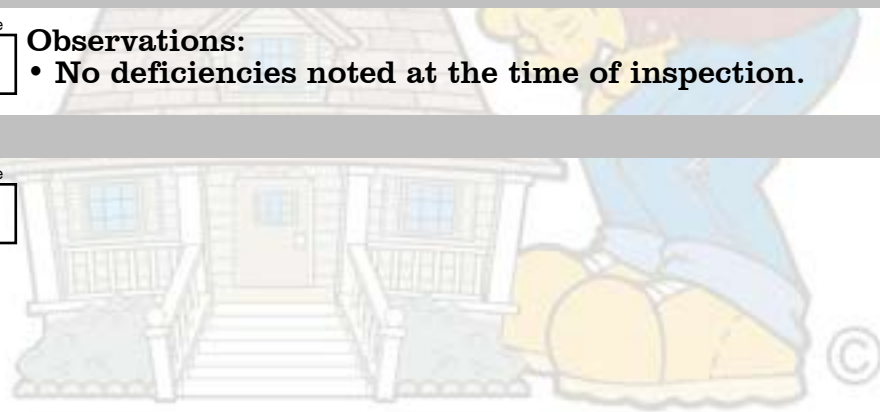
Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies noted at the time of inspection.

3. Exterior Paint

Good	Fair	Poor	N/A	None
X				



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Foundation

1. Foundation Type

Materials: Poured concrete • Finished basement

2. Sub Flooring

Good	Fair	Poor	N/A	None
X				

Observations:

- OSB (Oriented Strand Board) sheathing sub floor
- Engineered wood truss floor joists

3. Anchor Bolts

Good	Fair	Poor	N/A	None
X				

Observations:

- Most of the anchor bolts were not visible. The inspector inspected the ones that were and found no deficiencies at the time of inspection.

4. Sump Pump

Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies noted at the time of inspection.
- Battery backup present.



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Roof

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain, melting snow) would be needed to do so. Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions performed adequately or were leak-free.

1. Roof Condition

Good	Fair	Poor	N/A	None
	X			

Materials: The roof was fully traversed.

Materials: Asphalt shingles noted.

Observations:

- Moss was noted on a small portion of the roof. This can lead to the premature failure of that portion of the roof and subsequent leaks. Recommend treating moss during its growing season (wet months) with a moss killer. For information on various moss treatment products and their pros and cons, visit <http://bryophytes.science.oregonstate.edu/page24.htm>.
- Exposed nails on roofing material. Recommend sealing all fastener heads.



A nail is missing in the flashing and all others need to be sealed.

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Exposed nail head on the south side of the roof.



Moss growing on the roof

2. Flashing

Good	Fair	Poor	N/A	None
X				

Observations:

- Appeared functional at the time of inspection.

3. Chimney

Good	Fair	Poor	N/A	None
X				

Observations:

- Some minor siding deterioration noted. It is recommended to caulk all areas of the chimney.



4. Spark Arrestor

Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies noted at the time of inspection.



5. Gutter

Good	Fair	Poor	N/A	None
	X			

Observations:

- **Maintenance issue: Clean gutters, a significant amount of debris was discovered in a portion of the gutters. This can cause rain water to over flow or back up the roof surface.**



The gutters are clogged with debris.

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Attic

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

1. Access

Good	Fair	Poor	N/A	None
X				

Observations:

- ****Location of access****
- **Garage ceiling.**

2. Structure

Good	Fair	Poor	N/A	None
X				

Observations:

- **No deficiencies noted at the time of inspection.**



3. Ventilation

Good	Fair	Poor	N/A	None
X				

Observations:

- **Under eave soffit inlet vents noted.**
- **Ridge exhaust venting noted.**

4. Insulation Condition

Good	Fair	Poor	N/A	None
X				

Materials: Blown in fiberglass insulation noted.

Depth: Insulation averages about 14-16 inches in depth which has an approximate R-value of 40.



5. Exhaust Vent

Good	Fair	Poor	N/A	None
		X		

Observations:

- Exhaust fan ducts for the bathrooms appeared to terminate in attic. This is a condition that is conducive to microbial growth. It is recommended to have all exhaust ducts that terminate into the attic space rerouted to the exterior per standard building practices.



Attic Exhaust Vent

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Garage

Limitations: The inspector does not determine the adequacy of firewall ratings. Requirements for ventilation in garages vary between municipalities.

1. Walls

Good	Fair	Poor	N/A	None
X				

Observations:

- Appeared satisfactory, at time of inspection.

2. Anchor Bolts

Good	Fair	Poor	N/A	None
X				

Observations:

- The anchor bolts that were visible at the time of inspection were inspected and appear to be serviceable.

3. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Bare concrete floors noted.

Observations:

- No deficiencies noted at the time of inspection.



4. Exterior Door

Good	Fair	Poor	N/A	None
X				

Observations:

- Appeared functional, at time of inspection.



5. Garage Door Condition

Good	Fair	Poor	N/A	None
X				

Materials: Sectional door noted.

Observations:

- No deficiencies observed.



6. Garage Opener Status

Good	Fair	Poor	N/A	None
	X			

Observations:

- Appeared functional using normal controls, at time of inspection.
- Chain drive opener noted.
- The opener is missing cover for bulb/light. Recommend replacing it to prevent damage to the bulbs.



7. Garage Door's Reverse Status

Good	Fair	Poor	N/A	None
X				

Observations:

- Eye beam system present and operated normally at the time of inspection.
- Garage vehicle door auto-reverse operated normally at the time of inspection.

Plumbing/fuel

1. Main line condition

Good	Fair	Poor	N/A	None

Materials: Basement utility room.

Materials: Public

Observations:

- No deficiencies noted at the time of inspection.



Main shutoff valve location.

2. Supply line condition

Good	Fair	Poor	N/A	None
X				

Materials: Plastic (ABS, or PVC)

Observations:

- No deficiencies noted at the time of inspection.

3. Sillcock condition

Good	Fair	Poor	N/A	None
X				

Materials: North • East • South

Observations:

- No deficiencies noted at the time of inspection.

4. Waste line condition

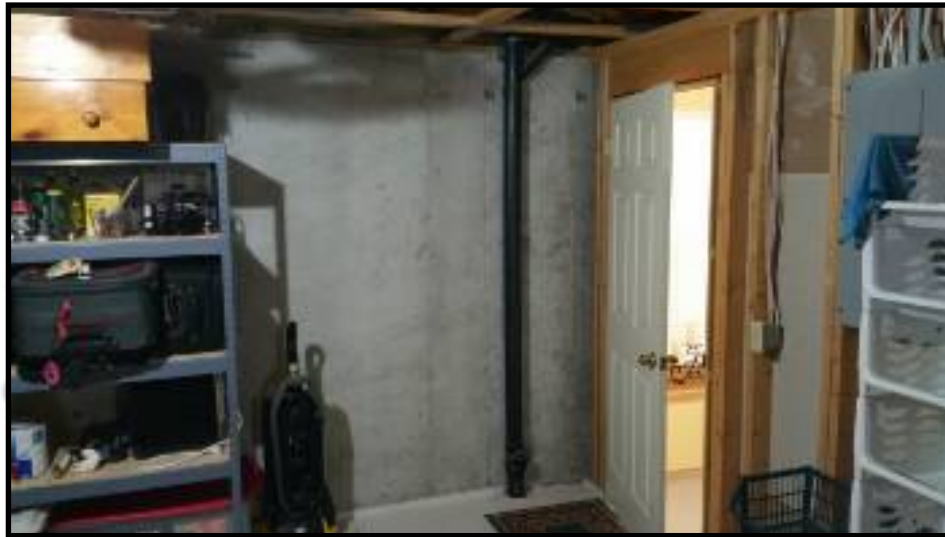
Good	Fair	Poor	N/A	None
X				

Materials: Plastic (ABS, or PVC)

Observations:

- No deficiencies noted at the time of inspection.

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5. Venting condition

Good	Fair	Poor	N/A	None
X				

Materials: Plastic (ABS, or PVC)

Observations:

- No deficiencies noted at the time of inspection.

6. Fuel system condition

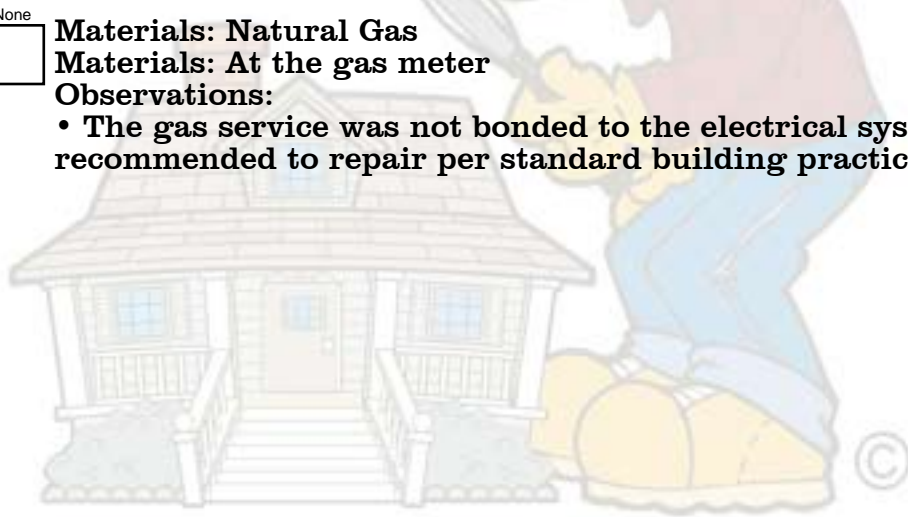
Good	Fair	Poor	N/A	None
	X			

Materials: Natural Gas

Materials: At the gas meter

Observations:

- The gas service was not bonded to the electrical system. It is recommended to repair per standard building practices.



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Water Heater

Limitations: Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

1. Water Heater Condition

Good	Fair	Poor	N/A	None
X				

Heater Type: Gas

Location: The heater is located in the basement.

Observations:

- The TPR valve drained into the sump. It is recommended that the drain pipe be cut 6 inches off of the floor and have it drain to a separate container.
- The water heater was able to produce hot water for the duration of the inspection.



TPR valve draining into the sump pit.

2. Date of Manufacture

Materials: Date of manufacture is: 2010

3. Number Of Gallons

Good	Fair	Poor	N/A	None
X				

Observations:

- 50 gallons

4. Combustion

Good	Fair	Poor	N/A	None
X				

Observations:

- The inspector could not fully inspect the combustion chamber due to it being a concealed chamber.
- The combustion chamber appears to in functional condition.



Sealed combustion chamber.

5. Venting

Good	Fair	Poor	N/A	None
X				



6. Gas Valve

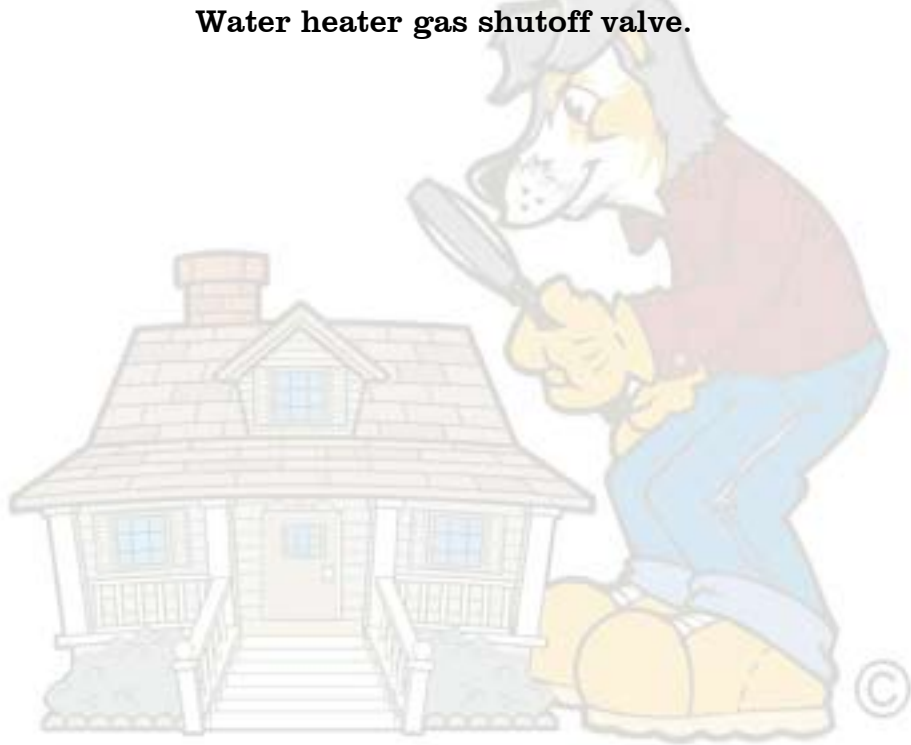
Good	Fair	Poor	N/A	None
X				

Observations:
 • Appeared functional.

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Water heater gas shutoff valve.



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Heat/AC

Limitations: The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

1. Furnace Condition

Good	Fair	Poor	N/A	None
X				

Materials: The furnace is located in the basement

Materials: Gas fired forced hot air.

Observations:

- No deficiencies noted at the time of inspection.



2. Date of manufacture of the furnace

Good	Fair	Poor	N/A	None
X				

Observations:

- Date of manufacture is: 2010

3. Venting

Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies noted at the time of inspection.
- Metal double wall chimney vent pipe noted.

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4. Gas Valves

Good	Fair	Poor	N/A	None
X				



Furnace gas shutoff valve.

5. A/C Condition

Good	Fair	Poor	N/A	None
X				

Compressor Type: Electric

Location: Split system with one component located outdoors on the north side and the other component located in the basement utility room.

Observations:

- **Appeared functional at the time of inspection.**



6. Date of manufacture of the A/C

Good	Fair	Poor	N/A	None
X				

Observations:

- Date of manufacture is: 2010

7. Air Supply

Good	Fair	Poor	N/A	None
X				

Observations:

- The air supply system appeared to be functional at the time of inspection.

8. Filters

Good	Fair	Poor	N/A	None
X				

Location: Located inside heater cabinet.



9. Thermostats

Good	Fair	Poor	N/A	None
X				

Observations:

- Location: upstairs hall next to master bedroom.
- Functional at the time of inspection.

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Electrical

Limitations: The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per InterNACHI's standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall capacity may be diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed and qualified electrical contractor.

1. Electrical Panel

Good	Fair	Poor	N/A	None
X				

Location: Main Location: basement

Observations:

- **Neutral wires were doubled under the same lug. All neural wires should be under their own lug. It is recommended to have a qualified electrical contractor repair per standard building practices.**



Double tapped neutrals.

2. Main Amp Breaker

Good	Fair	Poor	N/A	None
X				

Observations:

- **200 amp**

3. Cable Feeds

Good	Fair	Poor	N/A	None
X				

Observations:

- **There is an underground service lateral noted.**
- **Aluminum service entrance cable noted.**

4. Breakers

Good	Fair	Poor	N/A	None
X				

Observations:

- **All of the circuit breakers appeared serviceable.**



5. Wiring condition

Good	Fair	Poor	N/A	None
X				

Materials: Copper non-metallic sheathed cable noted.

Observations:

- No deficiencies noted at the time of inspection.

6. Recepticals

Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies were noted at the time of inspection.



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Bathroom

Limitations: The following items are not included in this inspection: overflow drains for tubs and sinks; heated towel racks, saunas, steam generators. Any comments made regarding these items are as a courtesy only. The inspector does not operate water supply or shut-off valves for sinks, toilets, or bidets due to the possibility of valves leaking or breaking when operated. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances.

1. Locations

Locations: Master Bathroom • Basement Bathroom • Upstairs Hallway bathroom

2. Cabinets

Good	Fair	Poor	N/A	None
X				

Observations:
• No deficiencies observed.

3. Counters

Good	Fair	Poor	N/A	None
X				

Observations:
• Solid Surface tops noted.
• No deficiencies noted.

4. Exhaust Fan

Good	Fair	Poor	N/A	None
		X		

Observations:
• The upstairs exhaust fans terminate improperly in the attic. See attic section of this report for more details.

5. Mirrors

Good	Fair	Poor	N/A	None
X				

6. Plumbing

Good	Fair	Poor	N/A	None
X				

Observations:
• No deficiencies noted at the time of inspection.



7. Showers

Good	Fair	Poor	N/A	None
X				

Observations:
• The showers operated normally at the time of inspection.

8. Bath Tubs

Good	Fair	Poor	N/A	None
X				

Observations:

- Whirlpool tub observed. Tub was filled to a level above the water jets and operated to check intake and jets. The tub was then drained to check for leaks and/or damage. Pump and supply lines were not completely visible or accessible. GFCI's were present and was tested. The items tested appeared to be in serviceable condition. If a more detailed report is desired, the client is advised to consult a licensed plumber for a complete review prior to closing.



9. Sinks

Good	Fair	Poor	N/A	None
X				

Observations:

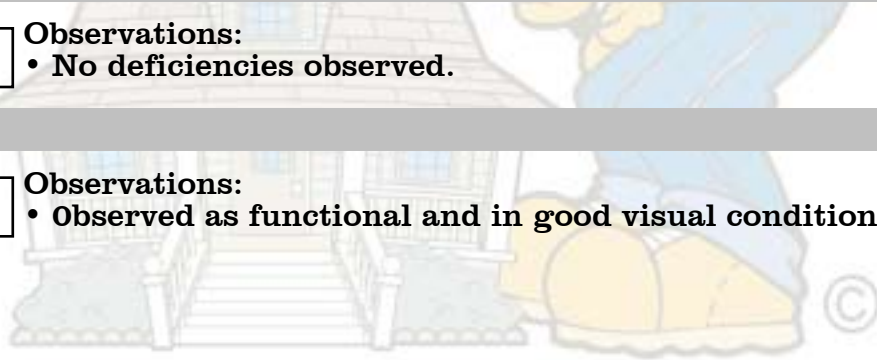
- No deficiencies observed.

10. Toilets

Good	Fair	Poor	N/A	None
X				

Observations:

- Observed as functional and in good visual condition.



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Kitchen

Limitations: The following items are not included in this inspection: household appliances such as stoves, ovens, cook tops, ranges, warming ovens, griddles, broilers, dishwashers, trash compactors, refrigerators, freezers, ice makers, hot water dispensers and water filters; appliance timers, clocks, cook functions, self and/or continuous cleaning operations, thermostat or temperature control accuracy, and lights. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of the remaining life of appliances, and does not determine the adequacy of operation of appliances. The inspector does not note appliance manufacturers, models or serial numbers and does not determine if appliances are subject to recalls. Areas and components behind and obscured by appliances are inaccessible and excluded from this inspection.

1. Cabinets

Good	Fair	Poor	N/A	None
X				

Observations:
• No deficiencies observed.



2. Counters

Good	Fair	Poor	N/A	None
X				

Observations:
• No discrepancies noted.
• Plastic laminate tops noted.



3. Dishwasher

Good	Fair	Poor	N/A	None
X				

Observations:
• The dish washer was operated and functioned at the time of inspection.



4. Garbage Disposal

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated - appeared functional at time of inspection.

5. Microwave

Good	Fair	Poor	N/A	None
X				

Observations:

- Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.



6. Oven & Range

Good	Fair	Poor	N/A	None
X				

Observations:

- Oven(s): Electric
- The kitchen cook top was induction type and could not be operated at the time of inspection because of how these cook tops work.



7. Sinks

Good	Fair	Poor	N/A	None
X				

Observations:
 • No deficiencies observed.



8. Vent Condition

Good	Fair	Poor	N/A	None
X				

Materials: Recirculating

9. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Ceramic tile is noted.
Observations:
 • No deficiencies noted at the time of inspection.

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Laundry

Limitations: The following items are not included in this inspection: clothes washers, clothes dryers. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. The inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated. The inspector does not determine the completeness or operability of any gas piping to laundry appliances.

1. Locations

Locations: Upstairs North

2. Dryer Vent

Good	Fair	Poor	N/A	None
X				

Observations:

- It is recommended as part of routine maintenance to have the dryer vent cleaned prior to use.

3. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Ceramic tile is noted.

Observations:

- No deficiencies noted at the time of inspection.



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Interior Areas

Limitations: The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Determining the cause and/or source of odors is not within the scope of this inspection.

1. Bedrooms

Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies noted at the time of inspection.

2. Ceiling Fans

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated normally when tested, at time of inspection.

3. Closets

Good	Fair	Poor	N/A	None
X				

Observations:

- The closets were in serviceable condition.

4. Door Bell

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated normally when tested.

5. Doors

Good	Fair	Poor	N/A	None
X				

Observations:

- All doors in the house operated normally when inspected.

6. Smoke Detectors

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated when tested.

7. Stairs & Handrail

Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies noted at the time of inspection.



8. Walls/Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall ceilings noted. • Drywall walls noted.

Observations:

- Small cracking and minor nail pops were observed at the time of inspection. These did not appear to be of a structural concern and refinishing is recommended for aesthetic reasons.

9. Fireplace

Good	Fair	Poor	N/A	None
X				

Materials: Living Room

Materials: Wood burning prefabricated fireplace noted.

Observations:

- Damper was opened and closed several times.
- No deficiencies noted at the time of inspection.



10. Window Condition

Good	Fair	Poor	N/A	None
X				

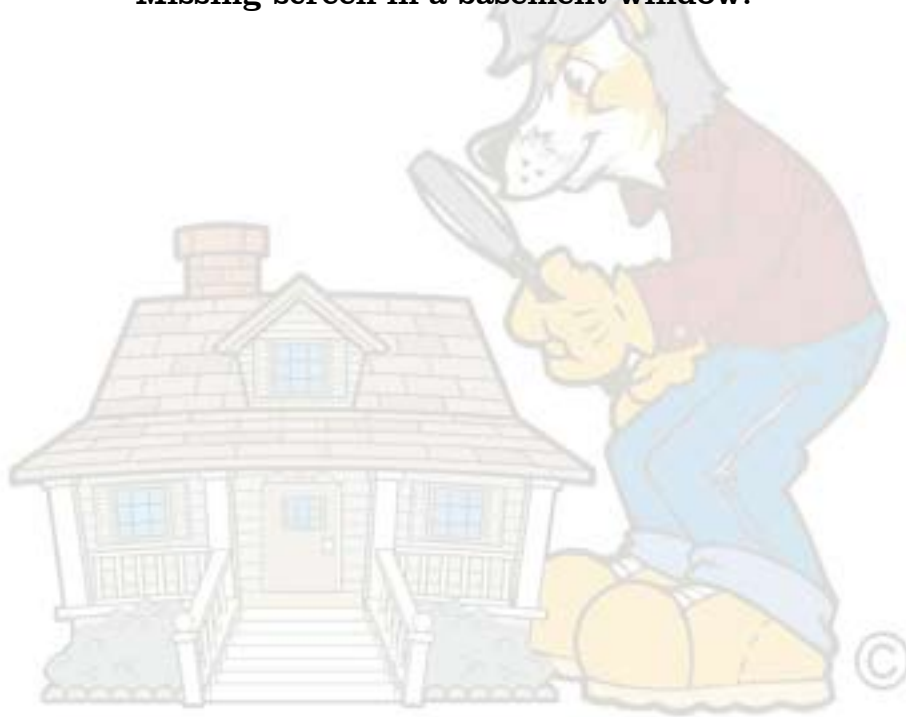
Materials: Vinyl framed double hung window noted. • Vinyl framed sliding window noted.

Observations:

- Missing screens observed at all windows in the basement.



Missing screen in a basement window.



An experience, not just an inspection.